

## **Introduction**

A Discount Tire Co. Store is being proposed for the parcel 131-30-001-J at 2323 N. Scottsdale Road, in Scottsdale Arizona. This narrative will describe the necessary site characteristics for the Design Review Board and Use Permit submittals.

## **Site Information**

### General Information

The proposed site is approximately 1.28 gross acres, located near the northeast corner of Scottsdale Road and Oak Street. The site is currently zoned C-3, Highway Commercial District. A site plan has been included with this narrative, showing the intended layout of the site. The store encompasses 6,947 S.F., and will be 30'-8" in height. The operations of the store include the retail sales and installation of tires and wheels. These are allowable activities with the C-3 zoning classification with an approved Use Permit. The typical hours of operation for a Discount Tire Co. store are from 8am to 6pm Monday through Friday, 8am to 5pm on Saturday, and closed for business on Sunday.

### Site Circulation and Parking

With the proposed site design, one entrance from Scottsdale Road will be used to serve the site. This entrance will allow for right-in/right out turning movements to Scottsdale Road, and will eliminate the previous two entrances to the site. There are two main drive aisles located on-site. These drive aisles allow access for emergency vehicles and the Discount Tire Co. Store delivery vehicles. The main parking fields are located adjacent to the drive aisles. There are 47 standard 9'x18' parking spaces planned for this development, more than the 25 spaces required by the City of Scottsdale. Along with the standard spaces, two handicap accessible spaces are provided per code, and one loading area per Discount Tire Co. policies. A future access easement to provide access to Oak Street through the existing Discount Tire parcel is to be dedicated upon redevelopment of the existing Discount Tire parcel. This access easement would be subject to approval by the City of Scottsdale Traffic Department at the redevelopment phase of the southern parcel.

### Drainage

The drainage design for the proposed site will utilize a surface retention basin for the storage of on-site runoff. These surface retention basin will retain the 100-year, 2-hour design event per City of Scottsdale standards, and will drain within the 36 hours after an event as mandated by the City of Scottsdale and Maricopa County. This basin will drain by the existing drywell on-site. The retention basin is located at the rear of the site. The proposed surface retention will be contained within a drainage easement that will be dedicated with the final construction documents for this project.

If the existing drywell percolation testing indicates that the surface basin cannot be drained within 36 hours, a 12” bleed-off storm drain pipe with a 4.5” orifice plate will be installed to convey the storm water to the City of Scottsdale storm drain system in Scottsdale Road.

#### Architecture

The proposed site is not in any specific Scottsdale design corridors; therefore only standard City of Scottsdale architectural standards for new commercial developments apply to this project.

The architecture for the proposed store is remarkably different from other “prototypical” Discount Tire Stores in the valley and around the country. The proposed design is contemporary retail, sensibly sustainable and as functional as the previous prototypes. Curved rusted metal roof, corrugated metal, trespass panels, EIFS, openings and green screens create an interesting design with rich accents, textures and movement both in vertical and horizontal plane. The new design blends in with the City’s new development standards for this area.

#### **Existing Conditions**

##### Existing Improvements/Previous Uses

The site currently contains two driveway entrances connecting with Scottsdale Road that will be utilized by the new development as previously mentioned. Along with the driveways, pavement and site lighting from a parking lot that served the previous development exist on-site. These items will be removed during site development. A restaurant was originally on this site, but has since been demolished.

#### **Community Impact**

##### Compatibility with Area

Discount Tire Co. operates a retail business, which engages in the sale and installation of passenger car and light truck tires and wheels. The new facilities are modern, clean and efficient. No heavy mechanical work, such as brakes, shocks, tune ups or drive train repairs are performed. Discount Tire Co. does not utilize any automotive fluids, oils or hazardous wastes.

The footprint of the building is 6,947 square feet which includes the occupancy groups “M” and “S-1”. There are two (2) entrances into the retail area of the building that customers may use, with parking on the service bay side of the building. The building has six (6) service bays to service cars and light truck for tire and wheel installation Monday through Friday between the hours of 8:00am to 6:00pm, Saturday, 8:00am to 5:00pm, and closed on Sunday. Discount Tire Co

prides itself on being very customer oriented and providing fast, efficient service in a pleasant retail environment.

This proposed development is anticipated to be compatible with the surrounding area. A Discount Tire Co. Store currently exists directly south of the proposed site, and neighboring the Discount Tire Co. Store is an auto service center. An existing 6' screenwall on-site will insolate the proposed store from the residential neighborhood located east of the proposed site.

#### Adverse Conditions/Unusual Circumstances

There appears to be no adverse conditions or special circumstances that affect this site.

**PROJECT NARRATIVE**

THE SCOPE OF THIS PROJECT CONSISTS OF A 6,947.2 SQUARE FOOT RETAIL ESTABLISHMENT IN SCOTTSDALE, ARIZONA. THE OVERALL SITE, 1.263 ACRES NET, IS BOUNDED BY SMART AND FINAL TO THE NORTH, "SCOTTSDALE ESTATES" SUBDIVISION TO THE EAST, EXISTING COMMERCIAL TO THE SOUTH AND SCOTTSDALE ROAD TO THE WEST.

THE PROPOSED ESTABLISHMENT IS A DISCOUNT TIRE CENTER FOR THE RETAIL SALES AND INSTALLATION OF TIRES AND WHEELS. THE CURRENT ZONING FOR THE PROPOSED SITE IS COMMERCIAL C-3. THE PROPOSED ZONING FOR THE SITE IS C-3. THE ZONING TO THE NORTH OF THE SITE IS C-3, R1-7 TO EAST, C-3 TO THE SOUTH AND TO THE WEST.

THE PROPOSED DISCOUNT TIRE STORE WILL RETAIN THE 100-YEAR 2-HOUR STORM EVENT ON-SITE BY SURFACE RETENTION.

**LEGAL DESCRIPTION**

THE SOUTH HALF OF THE FOLLOWING DESCRIBED PROPERTY:

THE WEST 340 FEET OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASIN AND MERRIMAN, MARICOPA COUNTY, ARIZONA.

EXCEPT THE NORTH 250 FEET, AND ALSO  
EXCEPT THE SOUTH 140 FEET, AND ALSO  
EXCEPT THE WEST 40 FEET, AND ALSO  
EXCEPT THE EAST 20 FEET

**N.O.I.**

CONSTRUCTION OF IMPROVEMENT FOR THIS PROJECT WILL DISBURSE MORE THAN 1 ACRE AND IS THEREFORE REQUIRED TO OBTAIN AN A.Z.P.D.E. PERMIT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FILING FOR, NOT, AND FOR DEVELOPING, FILING, AND UPDATING THE SHEETS FOR THE PROJECT.

**FLOOD INFORMATION**

ACCORDING TO THE FLOOD INSURANCE RATE MAP #40403C240 D, DATED SEPTEMBER 30, 2005, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X" AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH ANCEstral DEPTHS OF LESS THAN 1 FOOT OR WITH GRADUATED AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVES FROM 100-YEAR FLOOD.

**BASIS OF BEARING**

PER SURVEY INFORMATION GROUP, THE BASIS OF BEARING IS THE WEST LINE OF NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASIN AND MERRIMAN, MARICOPA COUNTY, ARIZONA. SAID LINE BEARS NORTH 00 DEGREES 33 MINUTES 34 SECONDS EAST 260.025 FEET.

**BENCHMARK**

PER SURVEY INFORMATION GROUP, THE BENCHMARK IS CITY OF SCOTTSDALE (BRASS CAP) IN HANDHOLE AT THE INTERSECTION OF SCOTTSDALE ROAD AND OAK STREET. ELEVATION = 1,236.014 (NAVD '80)

**DEVELOPER**

DISCOUNT TIRE CO. INC.  
20225 N. SCOTTSDALE ROAD  
SCOTTSDALE, AZ 85255  
FAX: (480) 606-6000  
CONTACT: TONY THORNTON

**CIVIL ENGINEER**

KIMLEY-HORN AND ASSOCIATES, INC.  
1255 W. BUCKLE ROAD, SUITE 250  
MESA, ARIZONA 85202  
PH: (480) 755-4444  
FAX: (480) 755-4445  
CONTACT: STEVEN MARGRETT, P.E.

**SURVEYOR**

SURVEY INFORMATION GROUP, INC.  
1614 N. WEST STREET, 102  
SCOTTSDALE, ARIZONA 85201  
TEL. NO. (480) 922-0700  
CONTACT: JASON SCHEPPE

**ARCHITECT**

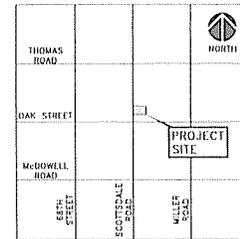
ART ARCHITECTS  
90 E. VICTORIA AVE.  
SUITE 320  
PHOENIX, AZ 85044  
TEL. NO. (602) 307-5399  
FAX NO. (602) 307-5409  
CONTACT: MAGE PEREZ

**SITE PLAN**

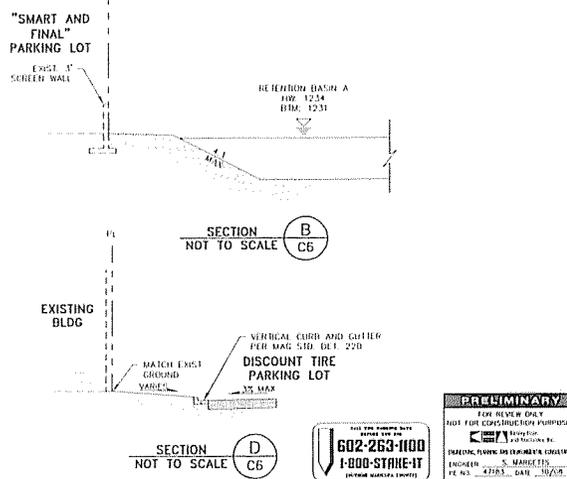
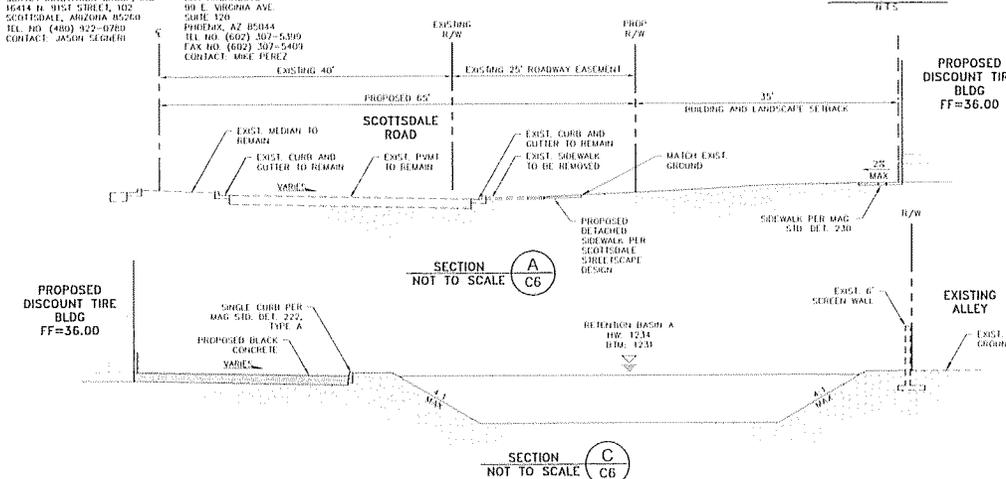
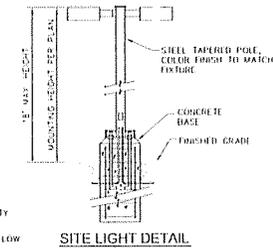
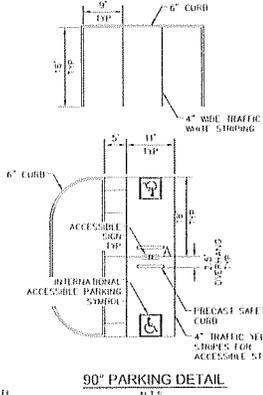
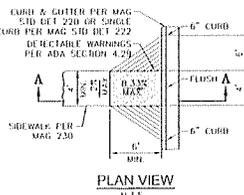
FOR



**NEC SCOTTSDALE ROAD AND OAK STREET  
SCOTTSDALE, ARIZONA**



SHEET INDEX		
SHEET	DESCRIPTION	REV.
C1	COVER SHEET	
C2	PRELIMINARY SITE PLAN	
C3	PRELIMINARY SITE PLAN AERIAL	
C4	SITE PLAN WORKSHEET	
C5	PRELIMINARY UTILITY PLAN	
C6	PRELIMINARY GRADING AND DRAINAGE PLAN	
ES-1	SITE FLOODING PLAN	
ES-2	LIGHT TRESPASS PLAN	



Kimley-Horn and Associates, Inc. © 2008  
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Mesa, AZ 85202 (480) 755-4444

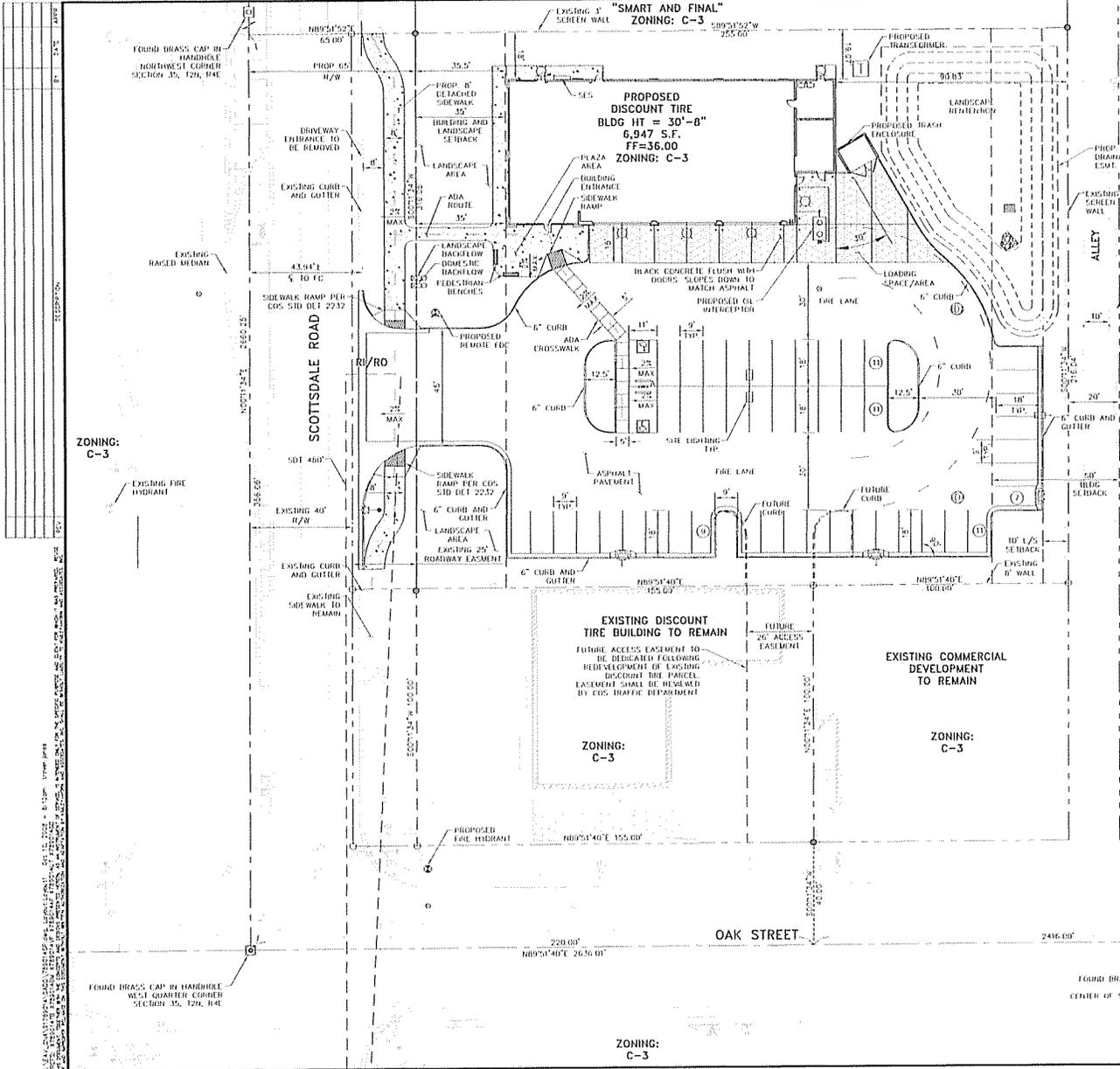


2323 N. SCOTTSDALE ROAD  
COVER SHEET  
SCOTTSDALE, ARIZONA

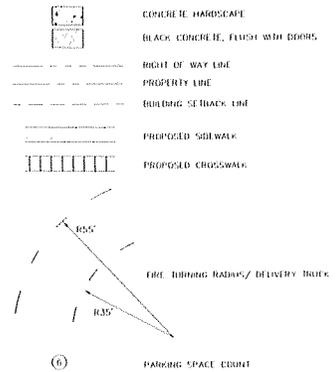
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SCALE (H) NONE  
SCALE (V) NONE  
DRAWN BY: SV  
DESIGN BY: SV  
CHECK BY: SW  
DATE: 10/10/08  
4783 SHAGBARK MAPLES  
SCOTTSDALE, AZ  
C1  
01 OF 06 SHEETS

**PRELIMINARY**  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION PURPOSES  
KIMLEY-HORN AND ASSOCIATES, INC.  
ENGINEERING PROFESSIONAL SEALING  
ENGINEER S. MARGRETT  
PL. No. 2108 - SAN JOSE, CA

602-263-1100  
1-800-STRAIGHT



**LEGEND**



ZONING: R1-7

**PROJECT INFORMATION**

PROPOSED USE:	RETAIL SALES AND INSTALLATION OF TIRES AND WHEELS
ZONING ADJACENT ZONING JURISDICTION:	HIGHWAY COMMERCIAL C-3 HIGHWAY COMMERCIAL C-3 SCOTTSDALE, ARIZONA
BUILDING SETBACKS:	REQUIRED MINIMUM SIDE SETBACK: 50' MINIMUM REAR SETBACK: 35' MINIMUM FRONT SETBACK: 35'
PROVIDED:	10' 99'1" 35'

**SITE CALCULATIONS**

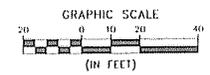
LOT AREA	GROSS(AC)	NET(AC)
1,391	1,261	1,261
60,492 SF	55,091 SF	55,091 SF
36'-8"		
BUILDING HEIGHT	6,947 SF / 55,091 SF = 12.6%	
BUILDING AREA	6,947 SF / 55,091 SF = 12.6%	
TOTAL LOT COVERAGE		

**PARKING REQUIREMENTS**

PARKING REQUIRED	3 SPACES PER BAY AND 1 SPACE PER 250 SF OF RETAIL	6 BAYS * 3 + 1690/250 = 25 SPACES
LOADING SPACES	1 SPACE	
ACCESSIBLE SPACES	2 SPACES	
PARKING PROVIDED	47 SPACES	
LANDSCAPED ACCESSIBLE	2 SPACE	
TOTAL	49 SPACES	
LOADING SPACE	1 SPACE	

**NOTES**

- SEE GRADING AND DRAINAGE PLAN FOR EXISTING AND PROPOSED CONTOURS AND SPOT ELEVATIONS.
- SEE UTILITY PLAN FOR LOCATION OF ALL EXISTING PROPOSED UTILITIES.
- SEE SITE PHOTOGRAPHIC PLAN FOR SITE LIGHTING DETAILS.
- SEE COVER SHEET FOR PARKING DETAILS.



**PRELIMINARY**

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602-263-1100  
1-800-STRAKE-IT

ENGINEER: S. MARSHALL  
DATE: 10/14/08

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1255 W. Bismarck Road, Suite 215  
West, Arizona 85002 (480) 751-4444

3233 N. SCOTTSDALE ROAD  
PRELIMINARY SITE PLAN  
SCOTTSDALE, ARIZONA

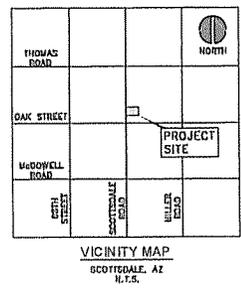
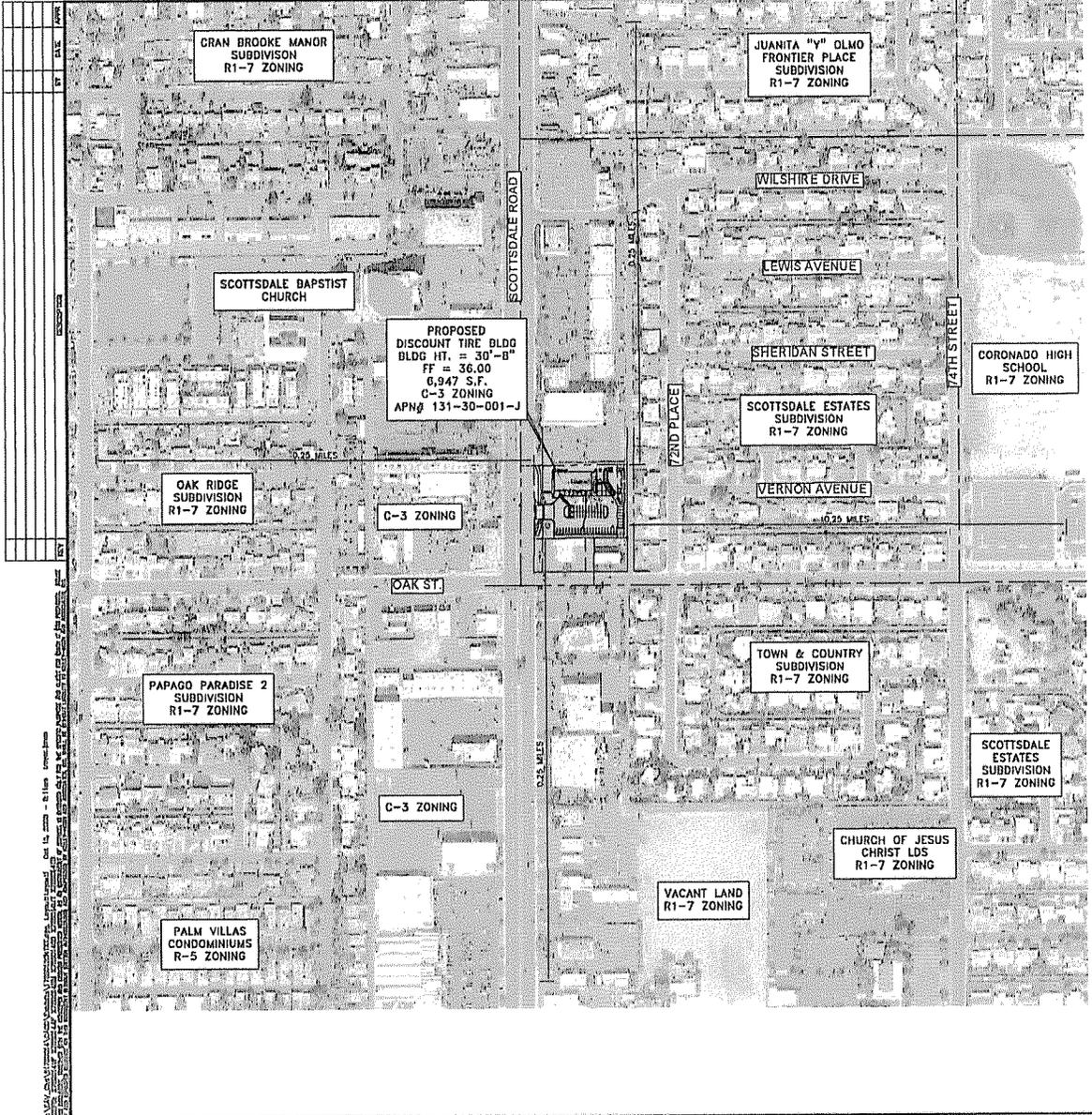
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SCALE (H) 1" = 20'  
SCALE (V) NONE  
DRAWN BY: SV  
DESIGN BY: SV  
CHECK BY: SV  
DATE: 10/14/08

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DATE: 10/14/08

C2

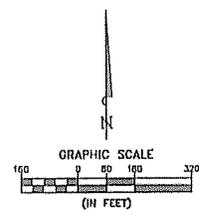
02 OF 05 SHEETS



**Kimley-Horn**  
 and Associates, Inc.   
 1255 W. Baseline Road, Suite 288  
 Mesa, Arizona 85202 (480) 755-4444



2323 N. SCOTTSDALE ROAD  
**PRELIMINARY SITE PLAN AERIAL**  
 SCOTTSDALE, ARIZONA



PROJECT No.  
01700014  
 SCALE (H): 1"=100'  
 SCALE (V): NONE  
 DRAWN BY: EV  
 DESIGN BY: EV  
 CHECK BY: SM  
 DATE: 10/09/08

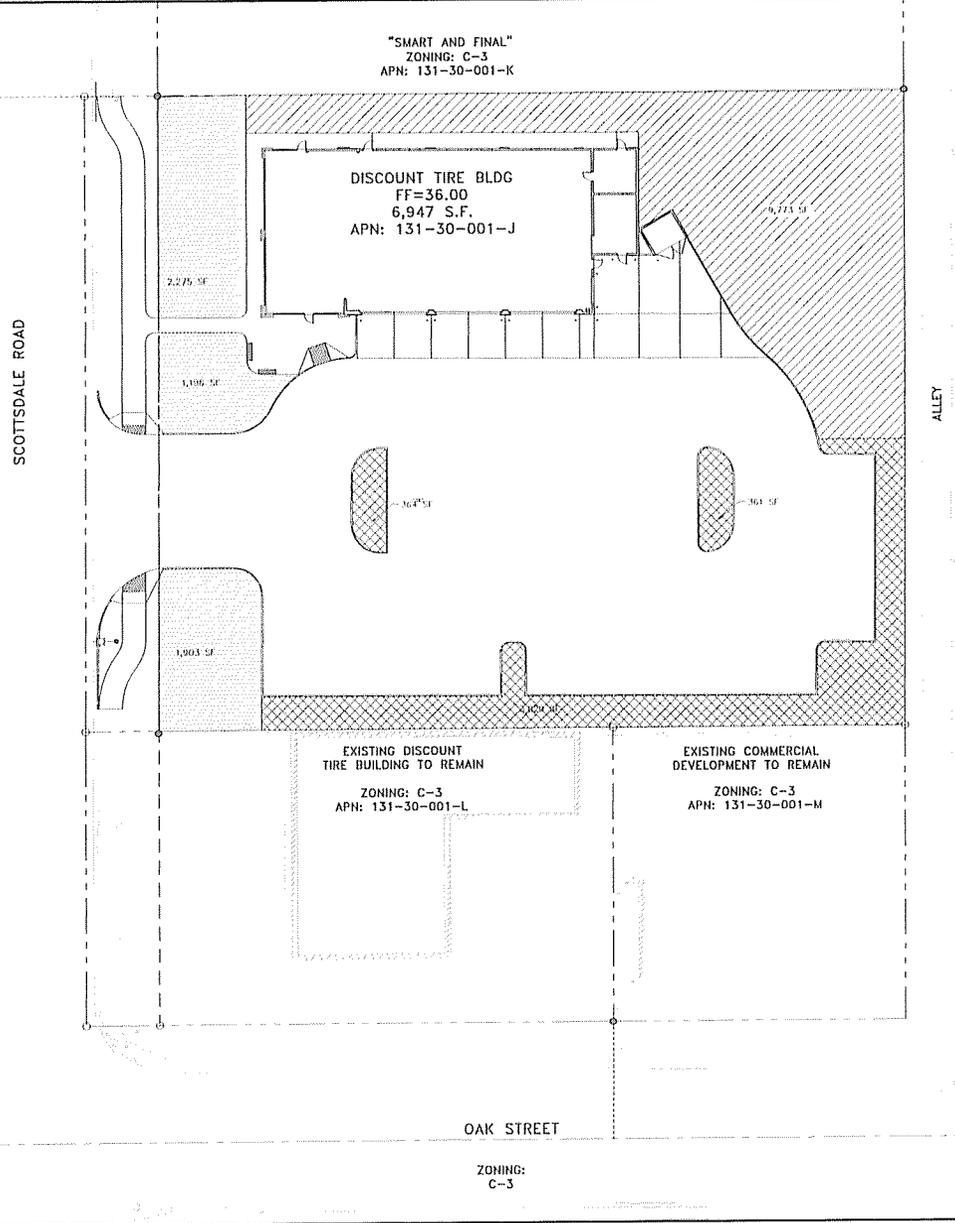
**Professional Engineer**  
 State of Arizona  
 License No. 21881  
 Date: 10/09/08

C3  
 03 OF 06 SHEETS

802-283-1100  
 1-800-STRONG-IT  
 DESIGN SOFTWARE SPECIALISTS

FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION PURPOSES  
 PROJECT: DISCOUNT TIRE  
 ENGINEER: E. WALKER  
 PE No. 21881 Date: 10/09/08

NO.	DATE	REVISION
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**LEGEND**

[Hatched Pattern]	OPEN SPACE AT FRONT (5,374 SF)
[Hatched Pattern]	OPEN SPACE OTHER THAN FRONT (9,723 SF)
[Hatched Pattern]	PARKING LOT LANDSCAPE AREA (4,554 SF)

**PROJECT DATA**  
ZONING: C-3 (HIGHWAY COMMERCIAL)  
BUILDING HEIGHT: 26'

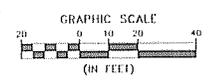
**LOT DATA**  
GROSS LOT AREA: 55,091 S.F.  
DEDICATION AREA: NONE  
NET LOT AREA (GROSS AREA - DEDICATION AREA) 55,091 S.F.

**OPEN SPACE**  
REQUIRED:  
MAXIMUM BUILDING HEIGHT:  
- 30'-0" PROPOSED (50' ALLOWED)  
FIRST 12' HEIGHT = 10% \* NET LOT AREA  
= 0.10 \* 55,091 S.F. = 5,509 S.F.  
0.4% OF NET LOT AREA FOR EACH FOOT OF HEIGHT ABOVE 12'  
= 0.004 \* 10' \* 55,091 S.F. = 2,622 S.F.  
OPEN SPACE REQUIRED (NOT INCLUDING PARKING LANDSCAPING)  
= 5,509 S.F. + 2,622 S.F. = 8,131 S.F. (16.6%)

PROVIDED:  
(NOT INCLUDING PARKING LANDSCAPING) = 15,147 S.F.

**PARKING LANDSCAPING**  
REQUIRED:  
1% OF PARKING AREA = 0.1% \* 23,303 S.F. = 2,330 S.F.  
PROVIDED:  
AREA = 4,554 S.F.

ALLEY  
ZONING:  
R1-7



**PRELIMINARY**

FOR REVIEW ONLY  
NOT FOR CONSTRUCTION PURPOSES

ENGINEER: S. MARGELIS  
DATE: 10/09/08

2323 N. SCOTTSDALE ROAD  
SITE PLAN WORKSHEET  
SCOTTSDALE, ARIZONA

PROJECT No. 01-00004  
SCALE (D) 1" = 20'  
SCALE (S) NONE  
DRAWN BY: CW  
DESIGN BY: LW  
CHECK BY: SW  
DATE: 10/09/08

47101  
S. MARGELIS  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF ARIZONA  
EXPIRES 12/31/2011

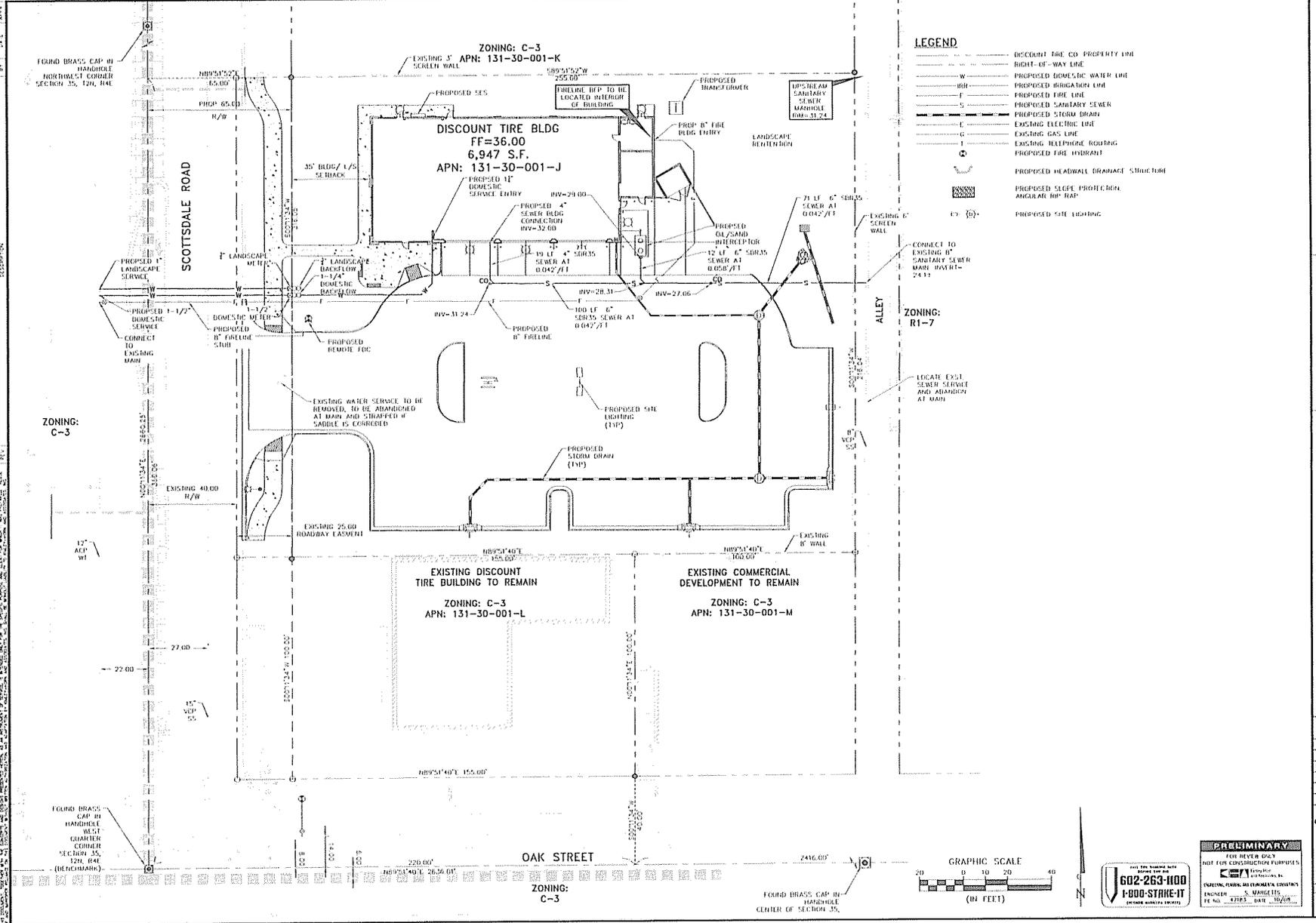
64  
04 OCT 08 08:51:11

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1252 N. Bessemer Road, Suite 215  
West, Phoenix, AZ 85016-4444

DEAN ENGINEERING

SCALE: 1"=20' (PLAN); 1"=4' (SECTION). DATE: 10/09/08. DRAWN BY: CW. CHECKED BY: SW. DATE: 10/09/08. PROJECT NO.: 01-00004. SHEET NO.: 04 OF 06. TOTAL SHEETS: 06.

SECTION 35, 120, 144  
 NORTHWEST CORNER  
 SECTION 35, 120, 144  
 FOUND BRASS CAP IN HANDHOLE CENTER OF SECTION 35, 120, 144 (BENCHMARK)



- LEGEND**
- DISCOUNT TIRE CO PROPERTY LINE
  - RIGHT-OF-WAY LINE
  - PROPOSED DOMESTIC WATER LINE
  - PROPOSED IRRIGATION LINE
  - PROPOSED FIRE LINE
  - PROPOSED SANITARY SEWER
  - PROPOSED STORM DRAIN
  - EXISTING ELECTRIC LINE
  - EXISTING GAS LINE
  - EXISTING TELEPHONE ROUTING
  - PROPOSED FIRE HYDRANT
  - PROPOSED HEADWALL DRAINAGE STRUCTURE
  - PROPOSED SLOPE PROTECTION ANGLULAR 90° RAP
  - PROPOSED SITE LIGHTING

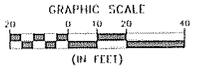
**Kimley-Horn and Associates, Inc.**  
 1225 N. Buckeye Road, Suite 212  
 Mesa, Arizona 85207 (480) 758-4444



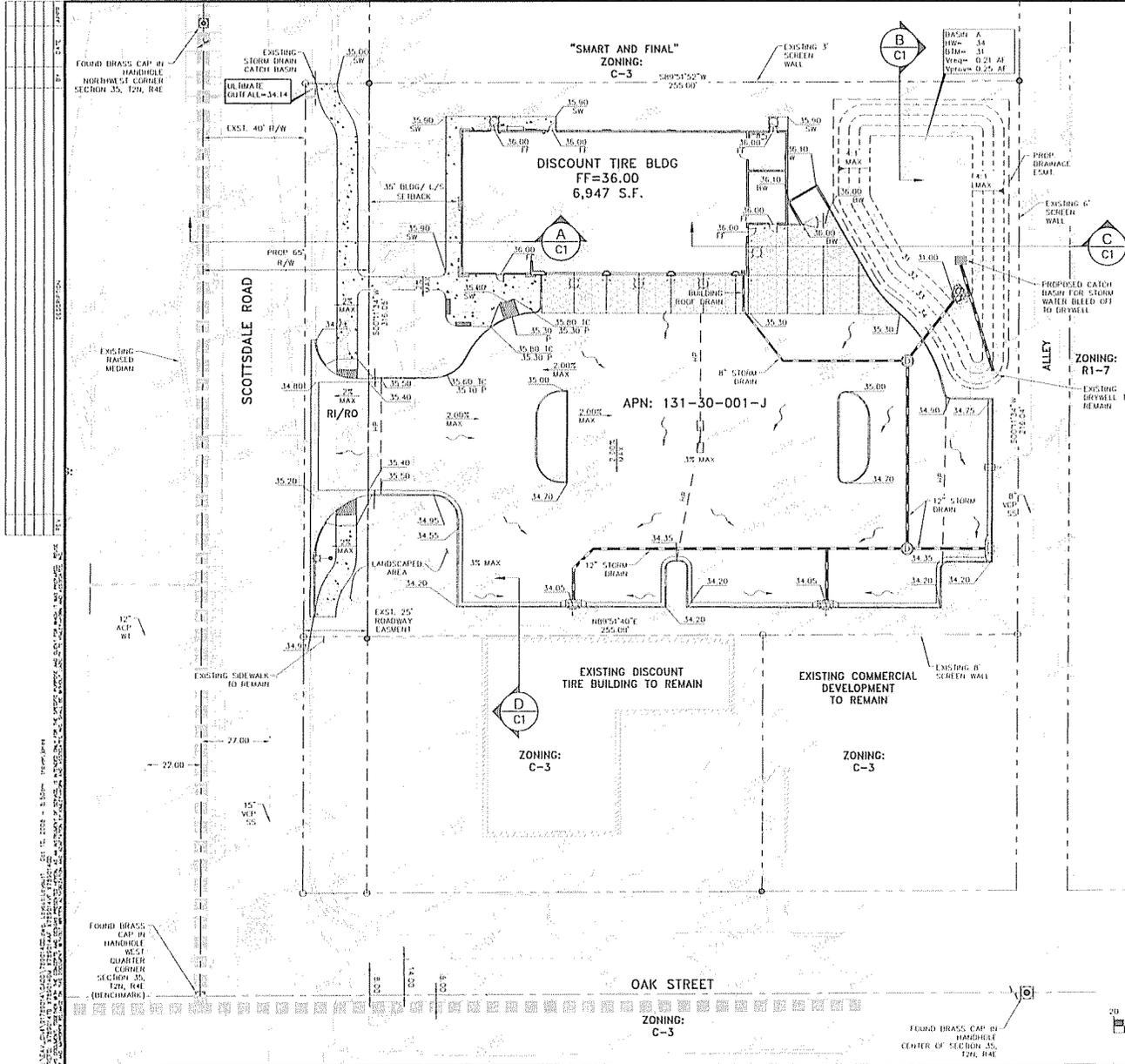
3233 N. SCOTTSDALE ROAD  
**PRELIMINARY UTILITY PLAN**  
 SCOTTSDALE, ARIZONA

PROJECT No. 01780004  
 SCALE (H) 1" = 20'  
 SCALE (V) NONE  
 DRAWN BY: CW  
 DESIGN BY: CW  
 CHECK BY: SM  
 DATE: 10/09/06  
 4780 BILKOWSKI AVENUE  
 SUITE 100  
 SCOTTSDALE, ARIZONA 85251  
 (480) 948-1100  
**C5**  
 05 OF 00 SHEETS

602-263-1100  
 1-800-STRAKE-IT



05 OF 00 SHEETS  
 24-UP-2006



**GRADING LEGEND**

- PROPOSED DRAINAGE FLOW
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FINISHED FLOOR ELEVATION
- PAVEMENT ELEVATION
- WALL ELEVATION
- HIGH POINT
- SIDEWALK ELEVATION
- BOTTOM OF WALL
- TOP OF RAMP
- PROPOSED SLOPE
- PROPOSED HEADWALL DRAINAGE STRUCTURE
- DISCONTINUITY OF PROPERTY LINE
- PROPOSED EASEMENT
- PROPOSED STORM DRAIN
- PROPOSED HIGH POINT

**BENCHMARK**

PER SURVEY INFORMATION GROUP THE BENCHMARK IS CITY OF SCOTTSDALE BRASS CAP IN HANDHOLE AT THE INTERSECTION OF SCOTTSDALE ROAD AND GAR STREET. ELEVATION = 4,236.014 (NAVD '80)

**NOTES**

1. SITE DETAILS: 100-YEAR, 2-HOUR RAINFALL DEPTH OF 2.80 INCHES AT SURFACE DETENTION BASIN.
2. CALCULATIONS ARE BASED ON THE RUNOFF COEFFICIENTS ACCORDING TO CITY OF SCOTTSDALE DESIGN STANDARDS AND PERFORMED MANUAL SECTION 4-1.
3. STORMWATER RUNOFF THAT ENTERS SURFACE DETENTION SHALL DISCHARGE INTO EXISTING DRYWELL OPENING.
4. ADD 1200 TO ALL PROPOSED SPOT ELEVATIONS AND CONTOURS.
5. ALL SPOT ELEVATIONS ARE PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
6. ADD 0.5' TO SPOT ELEVATIONS FOR TOP OF CURB ELEVATIONS.

**DETENTION REQUIRED**

DISCOUNT TIRE LOT:  
VOL REQ = RAINFALL DEPTH/12 \* DRAINAGE AREA \* RUNOFF COEFFICIENT

CLASSIFICATION	RAINFALL DEPTH	DRAINAGE AREA	RUNOFF COEFFICIENT	VOL REQ
BUILDING	2.80 IN	0.16 AC	0.95	0.04 AC-FT
PAVEMENT	2.80 IN	0.64 AC	0.95	0.14 AC-FT
LANDSCAPE	2.80 IN	0.40 AC	0.30	0.03 AC-FT
<b>TOTAL REQUIREMENT REQUIRED:</b>		<b>1.20 AC</b>		<b>0.21 AC-FT</b>

**DETENTION PROVIDED**

ABOVE GROUND DETENTION	DEPTH	Vol. of Basin	HY. OF BASIN	AC-FT
Basin A	3 FT	1231	1234	0.25
<b>TOTAL DETENTION PROVIDED:</b>				<b>0.25</b>

**DISPOSAL CALCULATIONS**

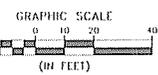
ABOVE GROUND DETENTION	VOLUME	# OF DRYWELLS	PERC RATE	TIME TO DRAIN
Basin A	0.25	1	0.1 CFS	30.2 HOURS

\* IF EXISTING DRYWELL PERCOLATION TEST RESULTS ARE NOT ACCEPTABLE TO THE CITY OF SCOTTSDALE, A 12" GRANITE STORM DRAIN BLEED-OFF PIPE WITH A 4" BRASS PLATE SHALL BE INSTALLED TO DRAIN THE SURFACE BASIN TO THE EXISTING CATCH BASIN AT THE NORTHWEST CORNER OF THE PROPERTY ALONG SCOTTSDALE ROAD.

**FLOOD INFORMATION**

THE FLOOD ZONE DESIGNATION FOR THIS AREA IS ZONE X. DEFINED AS: AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH PROTECTED AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. NUMBER 04013E1260 F, REVISED SEPTEMBER 30, 2005.

COMMUNITY NUMBER	COUNTY NUMBER	PANEL #	PANEL DATE	SUFFIX	DATE OF DRAW (INDEX DATE)	FIRM ZONE
045012	04013C	1260		F	SEPTEMBER 30, 2005	X



**602-263-1100**  
**1-800-STRAIGHT**  
(OTHER NUMBERS AVAILABLE)

**PRELIMINARY**  
NOT FOR CONSTRUCTION PURPOSES  
KIMLEY-HORN AND ASSOCIATES, INC.  
ENGINEERING PROFESSIONAL CORPORATION  
ENGINEER: S. MARGELIS  
PL. NO. 21013, DATE: 10/29/09

**3233 N. SCOTTSDALE ROAD  
PRELIMINARY GRADING  
AND DRAINAGE PLAN  
SCOTTSDALE, ARIZONA**

PROJECT No. 09-00004  
SCALE: HORIZONTAL 20'  
SCALE: VERTICAL 1"=10'  
DRAWN BY: EW  
DESIGN BY: EW  
CHECK BY: SM  
DATE: 10/29/09

**Kimley-Horn  
and Associates, Inc. © 2009**  
1254 W. Baseline Road, Suite #258  
Mesa, Arizona 85202 (480) 948-4244

**PRELIMINARY**  
4700  
KIMLEY-HORN AND ASSOCIATES, INC.  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF ARIZONA  
No. 10000

**C6**  
06 OF 06 SHEETS